



**City of Grande Prairie**  
Development Services  
Department

**KENNEDY DEVELOPMENTS LTD.**  
**OUTLINE PLAN**

OP-09-01

July 27, 2009

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## **1.0 INTRODUCTION**

This Outline Plan has been prepared by Focus Corporation on behalf of Kennedy Developments Ltd. The purpose of this plan is to provide a non-statutory framework for the development of land on part of NW ¼ 7-71-5 W6M in a manner that is attractive and economical, and is compatible and complementary to existing development in the south east area of the City of Grande Prairie.

This Outline Plan has been prepared in accordance with Policy 7.2.2 of the City of Grande Prairie Municipal Development Plan and clearly identifies and addresses the following criteria:

- Physical features and development constraints;
- Future land uses;
- Best opportunities for access and egress;
- Disposition of Municipal Reserve; and
- Proposed servicing for the site.

### **1.1 Plan Area Location & Context**

This outline plan applies to approximately 18.68 hectares of land located in the south east of the City of Grande Prairie. The plan area is bounded on the north by 68<sup>th</sup> Avenue, the west by Resources Road, on the east by Countryside South residential neighbourhood, and to the south by an access road leading to a private residence in the lands to the south east. A section of railway line belonging to the Canadian National Railway runs along the eastern border of the land adjacent to Countryside south. The lands directly to the north of 68<sup>th</sup> Avenue are partially developed with commercial properties as per the Resources Road Outline Plan adopted March of 2003. The land to the west, adjacent to Resources Road, is the Country Club Estates residential neighbourhood bordering the Grande Prairie Golf & Country Club to the south west. The lands directly to the south, within the Fairway Development Outline Plan area, are currently undeveloped.

### **1.2 Ownership & Disposition**

The plan area is legally described as Plan 5814NY RAILWAY RIGHT OF WAY within Meridian 6 Range 5 Township 71 comprising 18.68 ha of land (46.15 acres). A title search conducted September 13, 2007 shows the owners are Kennedy Development Ltd and Obaid Tahir Khan-Afridi Professional Corporation both with ½ undivided interests. Exceptions to the parcel include the following:

**Table One-Exceptions**

<b>Plan</b>	<b>Description</b>	<b>Hectares (Acres)</b>
4863TR	Road	3.4 (8.39)
9520679	Railway	3.239 (8.00)
0024011	Road	0.345 (0.85)
0323510	Road	0.895 (2.21)
<b>Total</b>		<b>7.879 (19.45)</b>

Once all exceptions and caveats are considered the plan area incorporates 10.80 ha of Gross Developable land.

### **1.3 Plan Framework & Policy Context**

This Outline Plan has been prepared in accordance with the requirements of the Grande Prairie Municipal Development Plan (MDP) and the Southeast Area Structure Plan. In particular it encourages and facilitates appropriate growth, as well as meeting the requirement for new commercial development to be developed in an orderly and continuous manner.

The lands are currently districted as Urban Reserve under the City of Grande Prairie Land Use Bylaw C-1100. Re-districting to the appropriate City of Grande Prairie land use districts will be undertaken to allow for development.

### **1.4 Site Conditions**

As illustrated in Map 2-Existing Conditions, the plan area is predominantly vacant land consisting of natural vegetation and a small area of trees located in southern portion. The topography is a generally gentle slope from north to south from 654m to 647.5m, representing an approximate 6.5m drop in elevation. Storm drainage for the area follows the contours from north to south.

The property has two depression areas in both the north and south ends of the property. Ortho imagery and local knowledge indicated the presence of wetlands. In accordance with the Alberta's Water Act, and Alberta Environment's "Provincial Wetland Restoration / Compensation Guide", a qualified aquatic environmental specialist was employed to conduct a wetland assessment for the subject lands. The conclusions from this wetland assessment<sup>1</sup> identified the presence of three wetland areas with limited ecological or wildlife values, comprising approximately 1.9 ha of land, two areas in the northern portions of the plan area, and one in the south. The wetland

<sup>1</sup> Ken Lumbis, October 2, 2007, Wetland Impact Assessment – NW ¼ Sec 7-71-5W6

assessment outlines a proposal under which the Developer would remove the wetlands and provide compensation to allow for wetland restoration at an offsite location. Approval for development and compensation will be dealt with prior to construction.

## 2.0 DEVELOPMENT PLAN

### 2.1 Plan Objectives

The objectives for this Outline Plan are as follows:

- To provide a development that is unique, attractive with high standards for appearance and design and serves as a 'gateway' to the southeast portions of the city;
- To provide an overall framework for future commercial development in the subject lands that is compatible with the developments on adjacent lands; and
- To ensure that the development is highly visible with ease of access and egress.

### 2.2 Development Concept

The proposed land use concept for the plan area is illustrated on Map 3, and a summary of land uses is provided in Table 2—Land Use Summary. The principal land use will be commercial, with a mixture of large and small commercial uses spread throughout the parcel. Internal access will be provided through public roadways and joint access agreements.

**Table 2—Land Use Summary**

<b>Land Use Category</b>	<b>Total (ha)</b>	<b>% of NDA</b>
<b>Net Developable Area (NDA)</b>	<b>10.80</b>	<b>100</b>
Road Right of Way	0.93	8.6
Future 68 <sup>th</sup> Avenue Road Widening	0.20	1.90
Commercial (CS)	8.40	77.7
Stormwater Management Facility & Open Space	1.27	11.7

As indicated in Table 2, the net developable area is 10.80 hectares.

The subject development is compatible with the land uses that are currently developed on the adjacent lands to the west and east, which are low density residential neighbourhoods within walking distance of the subject lands. At the request of City administration, cash-in-lieu will be paid to meet the Municipal Reserve dedication requirements.

### **3.0 TRANSPORTATION & SERVICING**

#### **3.1 Transportation**

The plan area is served by two arterial roadways: 68<sup>th</sup> Avenue to the north, developed as a four lane divided roadway adjacent to the plan area, and Resources Road to the west, which is currently four lanes divided to the south of 63<sup>rd</sup> Avenue. According to the City's Transportation Master Plan, both roadways will ultimately be fully constructed to a four-lane divided arterial standard. Provisions for a future road widening to accommodate upgrading of the 68<sup>th</sup> Avenue and Resources Road intersection have been made at the north end of the Plan Area.

As illustrated in Map 4-Transportation, main access to the site shall be through the development of all directional intersections at 63<sup>rd</sup> Avenue and Resources Road. An internal public roadway will provide access through the site and to the lands to the south.

To facilitate traffic flow a left in, right-in/right-out access is proposed off Resources Road between 63<sup>rd</sup> and 68<sup>th</sup> Avenues.

Accommodation for pedestrians will be provided through the development of a separate sidewalk along Resources Road, with linkages to adjacent residential areas on the northern boundary of the plan area on 68<sup>th</sup>, and along the southern boundary on what is currently a private road leading into the south end of Countryside South and the Summerside residential neighbourhoods. An intersectional crossing is provided on the pedestrian/bicycle trail adjacent to the Country Club residential neighbourhood at 63 Avenue and Resources Road. This all directional intersection will provide access for pedestrian and bicycle traffic into the plan area from the west. These trails and linkages will provide pedestrian and bicycle traffic to flow easily to and from adjacent areas along with potential connections to natural areas to the south of the City, particularly the popular recreational area, the Dunes, located within the County of Grande Prairie.

As illustrated on Map 4 – Transportation, a future potential transit route is shown running through the plan area along the public road into the lands to the south.

#### **3.2 Water Distribution**

There are two existing water main feeds through the plan area: a 300mm water main on the south side of 68<sup>th</sup> Avenue, which extends along the north boundary, and a 200mm water main, which crosses the plan area near 62<sup>nd</sup> Avenue. Internal distribution

will be provided through 250mm mains, connected to the existing feeds. Final alignments will be dependant upon development, but will be located within right-of-ways or servicing easements. The proposed looped water system for the plan area is illustrated on Map 5.

Additional detailed information pertaining to water distribution/fire system is outlined in the design report for water.

### **3.3 Sanitary Sewer**

As illustrated on Map 6, the 88<sup>th</sup> Street Trunk Main (900mm) exists along the south boundary of the plan area. A proposed 250mm gravity sanitary sewer main will tie into the existing trunk main and extend north through the plan area. Final alignment will be dependent upon development, but will be located within right-of-ways or servicing easements.

Additional detailed information pertaining to the sanitary system is outlined in the design report for sanitary.

### **3.4 Stormwater Management**

The Plan area consists of a single drainage basin approximately 10.8 ha. in size. As illustrated on Map 7, stormwater will be collected by a combination of storm sewer mains and overland drainage and directed to a stormwater pond in the southern end of the development.

Stormwater from the development will be detained in the storm pond and released at a pre-development flow rate into a proposed offsite storm sewer system discharging into the existing retention pond in the Summerside Development.

The land immediately to the south of the Plan Area is the subject of the Fairway Development Outline Plan (part of SW 7-71-5W6). The Fairway Development Outline Plan proposes a storm pond at the northern end of its plan area. Due to the close proximity to the storm pond in this Outline Plan, when fully developed, both ponds will be constructed in such a fashion that they will operationally and aesthetically function as one.

An existing ditch along the west side of the development conveys the discharge from the wetland area north of 68<sup>th</sup> Avenue and stormwater from Resources Road adjacent to the development to the lands south of the Plan area. This ditch will remain intact to maintain the existing overland route, but will be diverted into the stormwater facility at the south of the Plan area.

Additional detailed information pertaining to the storm sewer system is outlined in the design report for stormwater.

### **3.5 Shallow Utilities**

All shallow utilities (natural gas, power, telephone, cable) are to be extended into the Plan area by the individual franchise holders as required.

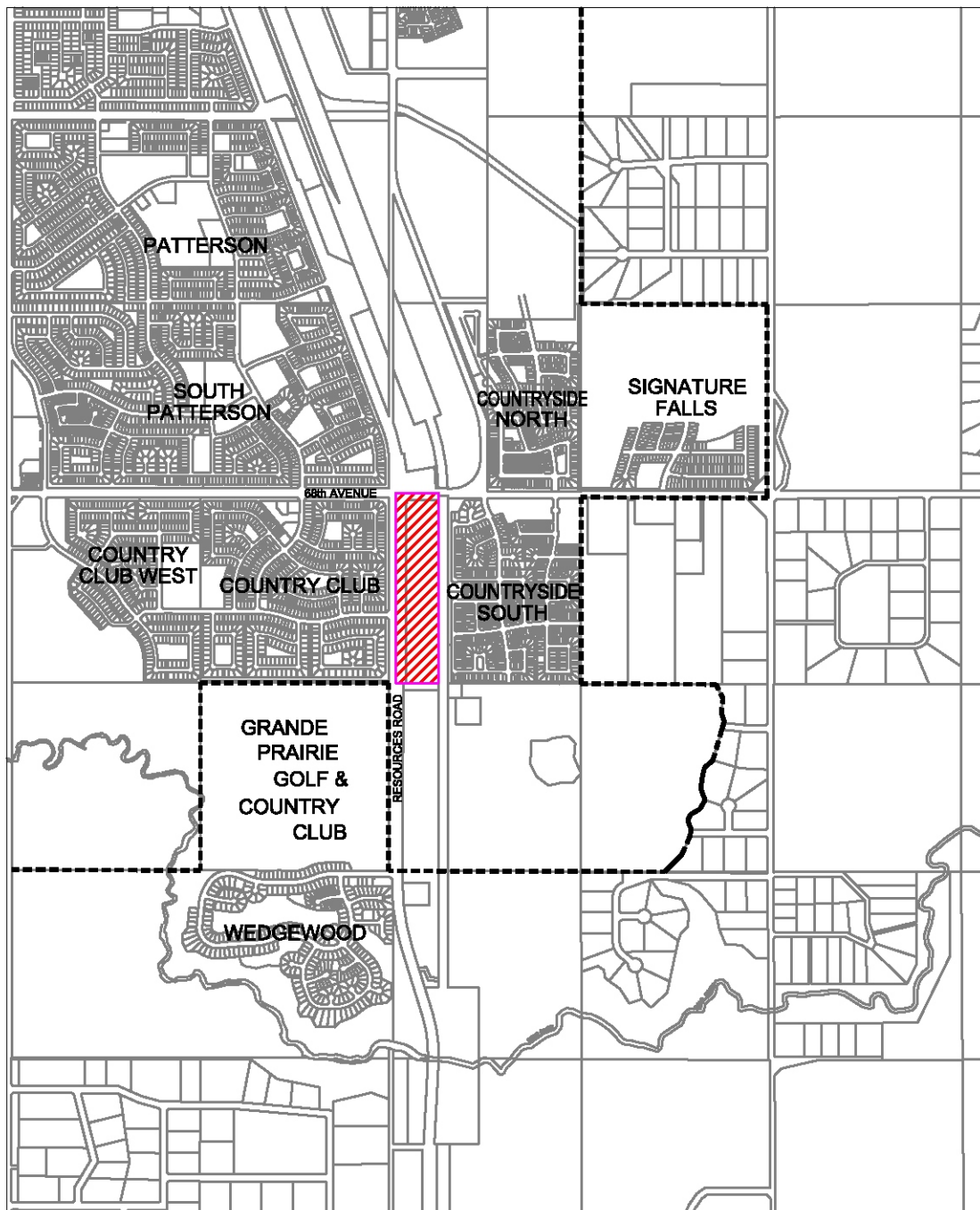
### **3.6 Geotechnical**

A geotechnical investigation and report of the Plan Area was completed by J.R. Paine & associates in November, 2007. This report makes recommendations for design and construction of buildings, roads, underground utilities, fills and stormwater management facilities and should be consulted prior to development.

## **4.0 IMPLEMENTATION**

### **4.1 Proposed Zoning**

As illustrated in Map 9, the plan area will be zoned under the Commercial Service (CS) district of the City of Grande Prairie Land Use Bylaw C-1100. It is intended that site zoning will be approved concurrently with this Outline Plan.



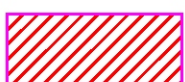
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### LEGEND:

----- CITY BOUNDARY



PLAN AREA

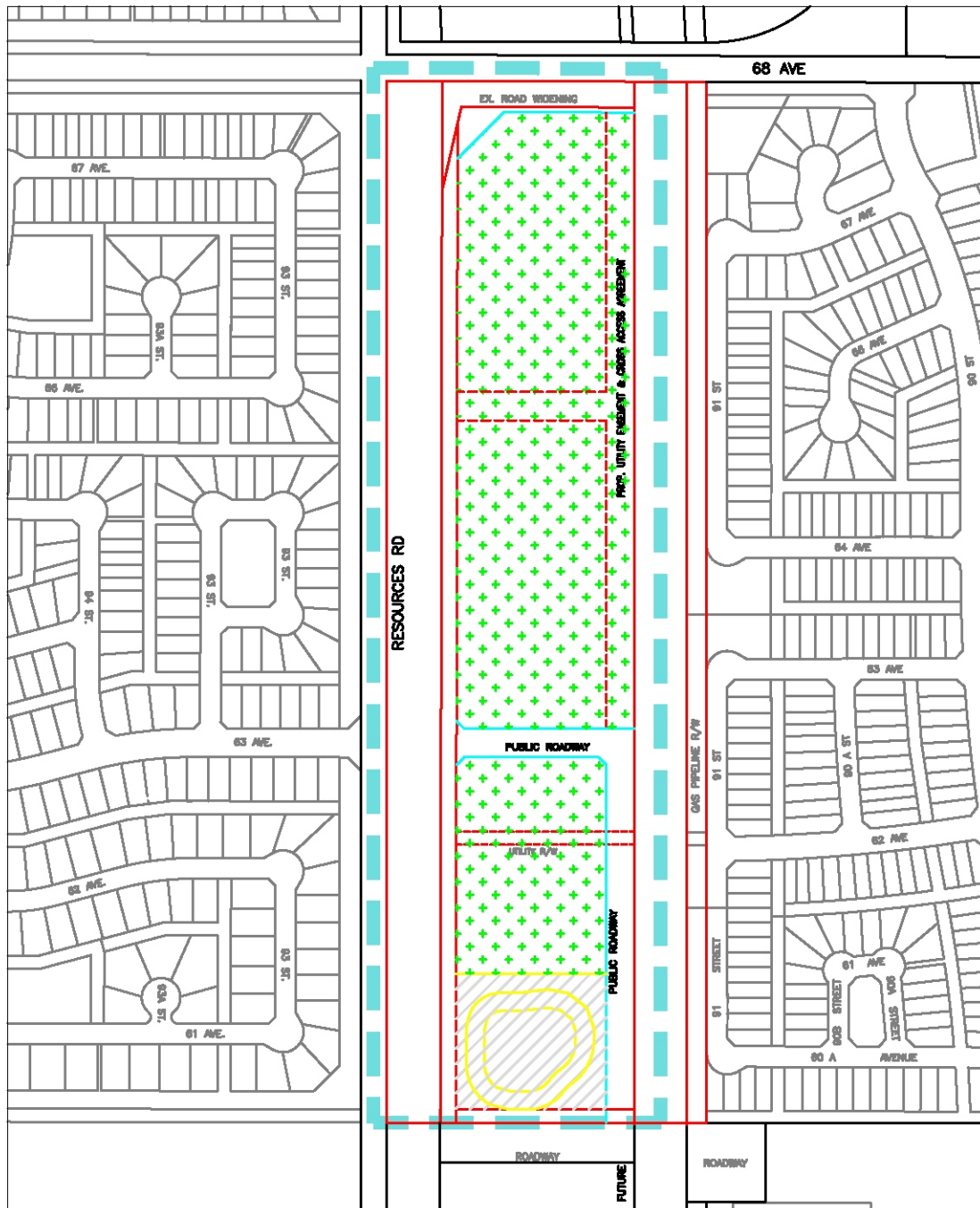
## MAP 1 - PLAN AREA LOCATION

SCALE : N.T.S.



**FOCUS**





#### LEGEND:



COMMERCIAL



STORM POND / PUL

PLAN AREA

### MAP 3 - PROPOSED LAND USE

SCALE : N.T.S.

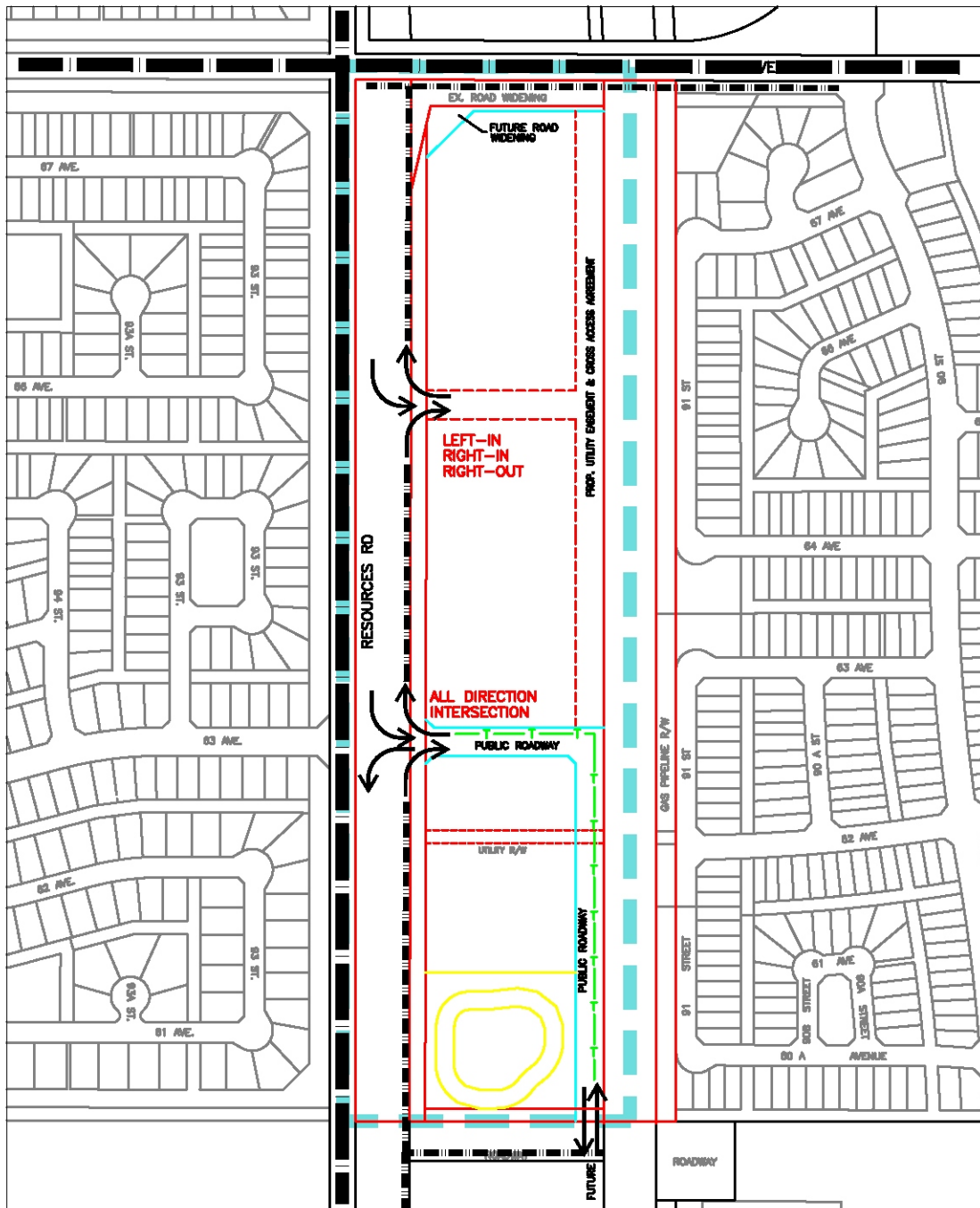


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### LEGEND:

- ARTERIAL ROAD
- PEDESTRIAL WALKWAY
- POTENTIAL TRANSIT LINK
- PLAN AREA

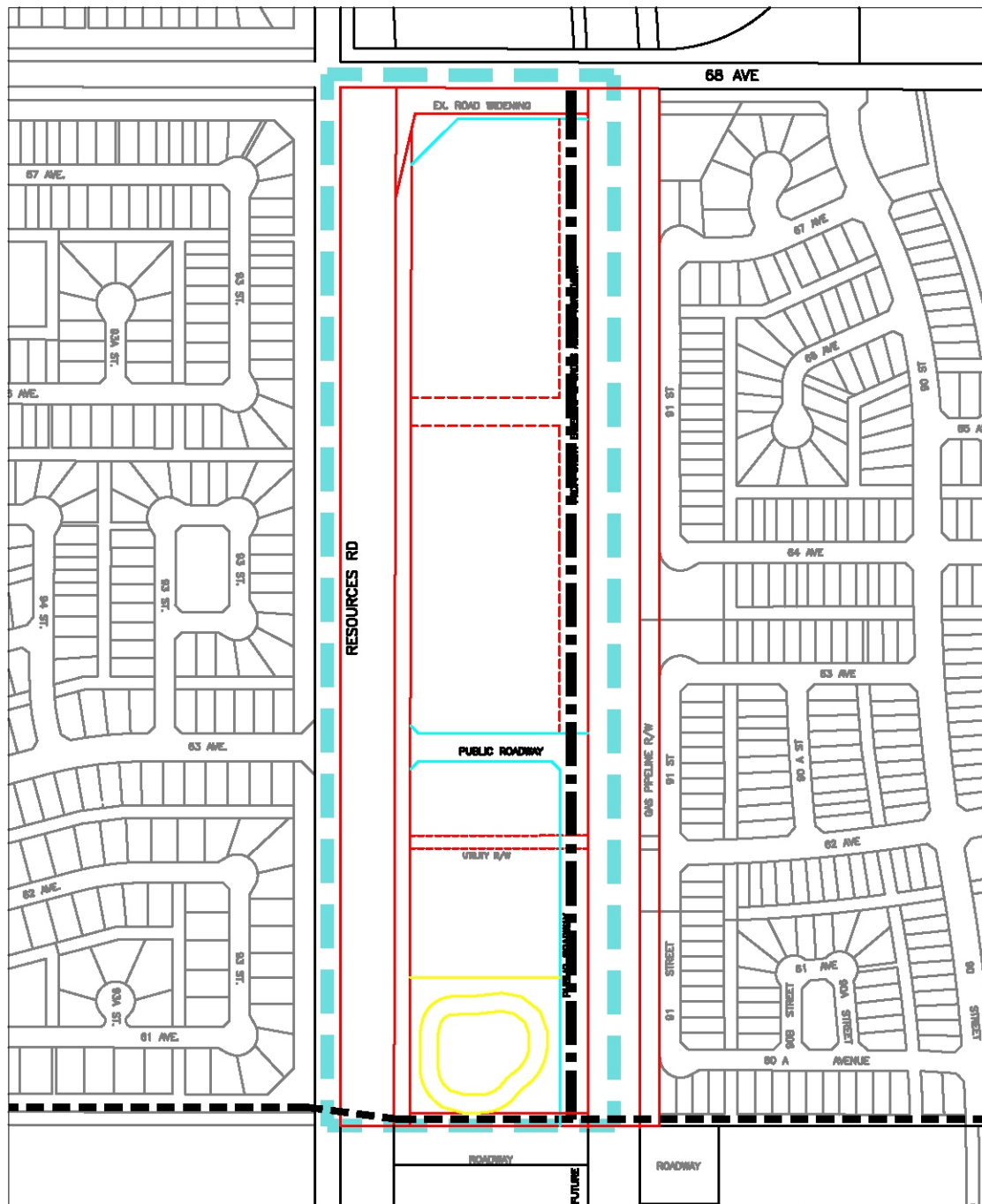
## MAP 4 - TRANSPORTATION

SCALE : N.T.S.



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# LEGEND:

- PROPOSED SANITARY SEWER MAIN
- EXISTING 88th STREET TRUNK MAIN

PLAN AREA

## MAP 6 - SANITARY SEWER

SCALE : N.T.S.

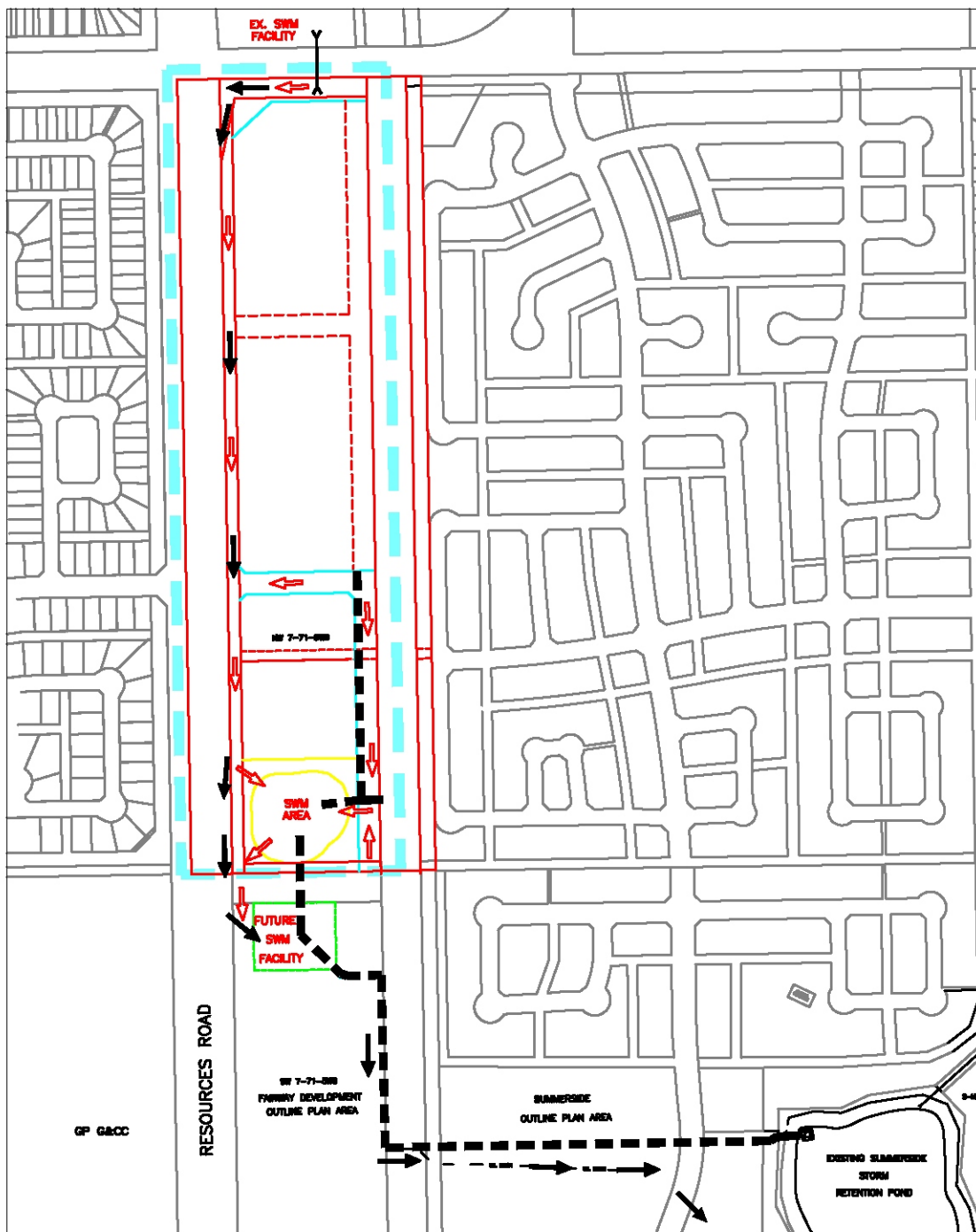


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### LEGEND:

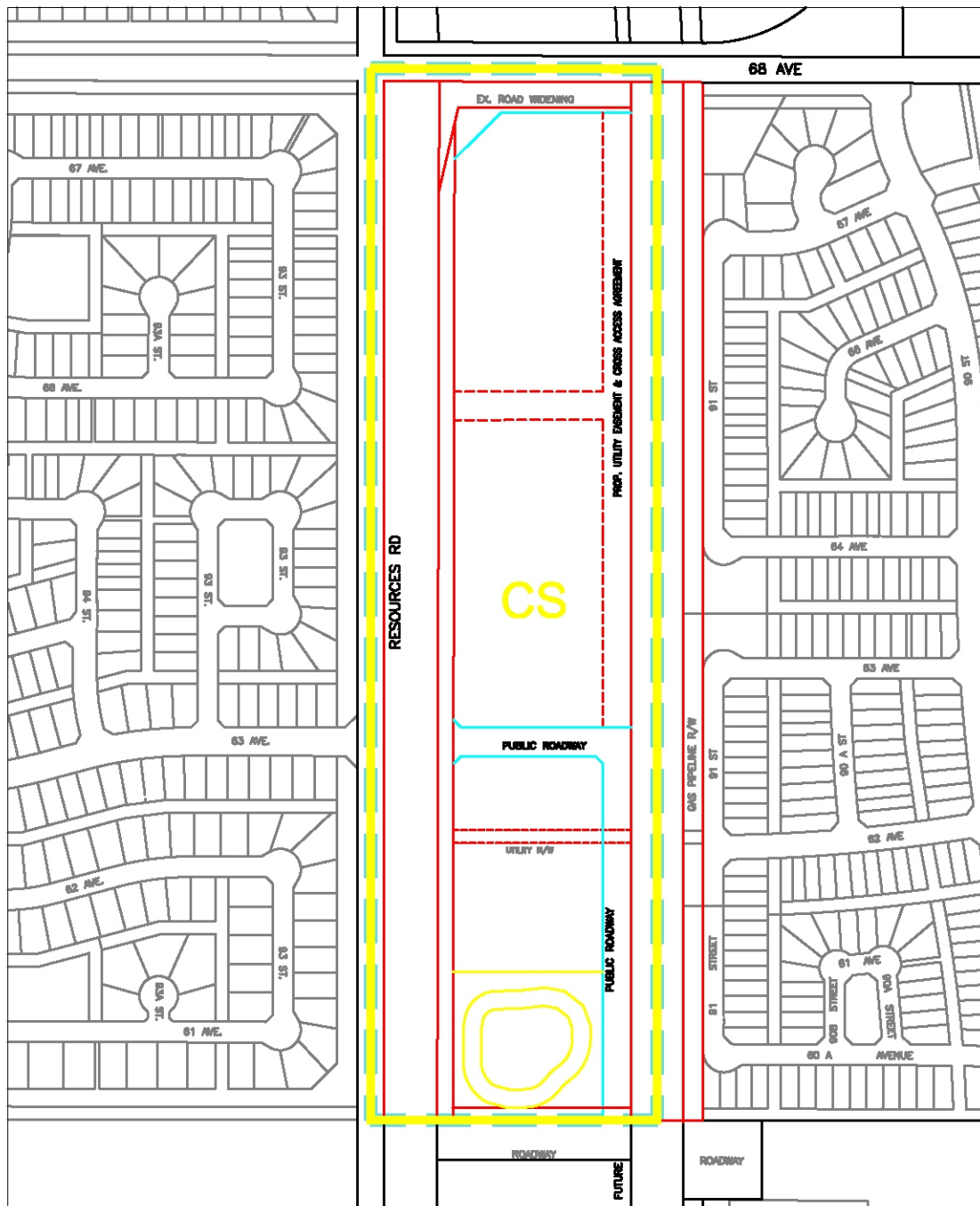
- PROPOSED STORM SEWER MAIN
- EXISTING DRAINAGE DITCH / OVERLAND ROUTE
- PROPOSED OVERLAND ROUTE
- PLAN AREA

## MAP 7 - STORM DRAINAGE

SCALE : N.T.S.



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### LEGEND:

**CS** COMMERCIAL SERVICE

**PLAN AREA**

### MAP 8 - PROPOSED ZONING

SCALE : N.T.S.



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